

P.O. Box 113
Canton, MS 39046-0113

Canton Fax: 601-859-0322
Madison Fax: 601-898-0731

Kay Pace
Tax Collector
Madison County

Canton: 601-859-5226
Flora: 601-879-9537
Madison: 601-856-4472

Myrtle Rayburn, Chief Deputy
Canton Office 601-855-5605

Lori Butler, Chief Deputy
Madison Office 601-855-5601

April 30, 2020

Mr. Gerald Steen, President
And Members of the Madison County
Board of Supervisors
PO Box 404
Canton, Mississippi 39046

RE: Void Tax Sale of 8-26-19 on property tax increase/homestead deletion Lot 34 The Timbers of Ashbrooke, 214 Cottonwood Dr. Madison, MS 39110.

Dear Mr. Steen and Members of the Board:

This is a request to void tax sale which was erroneously sold August 26, 2019. It is an increase and homestead disallowance for the previous owner and which was sent to our office to be placed on the roll for 2019 taxes, tax year 2020 after property sold to third party. The Parcel number is 081F-13- 234/00.00, in the amount of \$2,190.00. This tax sale was sold to TTLBL, LLC 4747 Executive Dr. San Diego CA 92121. Therefore, a refund will need to be issued. Please place this as Consent Item on the BOS agenda for the meeting to be held May 4th, 2020.

Thank you.

Sincerely,



Kay Pace
Tax Collector, Madison County, MS

Ec: mike.etsy@madison-co.com
Ronny.lott@madison-co.com
geraldsteen@sprintmart.com
Shelton.vance@madison-co.com

VOID TAX SALE
081F-13-234/00.00

SEQUENCE OF EVENTS:

- 1) Robert S. Love III and Melissa S. Love purchased property at 214 Cottonwood Dr. Madison, MS 39110 (Lot 34, The Timbers of Ashbrooke, Madison County, Mississippi) on or about December 5th, 2017, from Gregory C. and Lisa G. Gibb.
- 2) January 23rd, 2018, payment was received from Advantage Closing and Escrow Inc. for the 2017 taxes, in the amount of \$3,242.73.
- 3) Deed was filed for Robert and Melissa Love for the Cottonwood Dr. address on January 17th, 2018. Since the deed was not filed on or before January 1st, 2018. It was still recorded as being owned by the Gibb's, so tax notices were mailed to them versus the new owners.
- 4) January 28th, 2019, wire payment was received from Corelogic, batch 007 for the 2018 taxes.
- 5) February 04th, 2019 the Tax Assessor's presented to the BOS Real Property Increases and Homestead Exemption Deletions, which had parcel number 081F-13-234/00.00 (property purchased by Robert and Melissa Love). Homestead was disallowed for the 2018 taxes due the property being in 2017. And since the deed was not filed until January of 2018, the notice of increase on this property was sent to the Gibb's and not the Love's. Therefore, the Love's nor their mortgage company knew of said increase and the balance that was due.
- 6) March 2019, the Love's applied for regular homestead exemption. Because they were not eligible to file in 2018, because the deed was filed after the deadline although they purchased the property in 2017.
- 7) August 26th, 2019, the unpaid balance for the increase went to tax sale and was purchased by TTLBL, LLC.
- 8) It was not discovered that there were taxes due or went to tax sale for 2018, until payment was to be made for the 2019 taxes.

BOOK 3562 PAGE 545 DOC 01 TY W
INST # 831619 MADISON COUNTY MS.
This instrument was filed for
record 1/17/18 at 11:18:22 AM
RONNY LOTT, C.C. BY: HRM D.C.

PREPARED BY:
Cecil D. McClellan III (MB# 10478)
McClellan Law Firm, P.A.
100 Webster Circle, Suite 1
Madison, MS 39110
601.919.0045

RETURN TO:
Advantage Closing & Escrow
100 Webster Circle, Suite 1
Madison, MS 39110
601.919.0045
File #: 2017-1717

12.2
508 (2)

WARRANTY DEED

STATE OF MISSISSIPPI
COUNTY OF MADISON

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00) cash in hand paid and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the GRANTORS:

Gregory C. Gibb and Lisa G. Gibb
c/o 7500 Dallas Parkway #300
Plano, TX 75024
Phone Number: (972) 987-1900

do hereby bargain, sell, grant, convey, and warrant unto GRANTEEES:

Robert S. Love, III and Melissa S. Love, as joint tenants with full rights of survivorship and not as tenants in common.
214 Cottonwood Drive
Madison, MS 39110
Phone Number: (662) 545-7581

the following described land and property located in Madison County, Mississippi, and more particularly described as follows:


Complete Legal Description is attached hereto as Exhibit A.

INDEXING INSTRUCTIONS: Lot 34, THE TIMBERS OF ASHBROOKE, Madison County, Mississippi

Excepted from this deed and warranty hereof are all zoning and building ordinances; easements, covenants and rights of way of record; and prior reservations and conveyances of minerals.

IT IS AGREED and understood that the taxes for the current year have been pro-rated as to this date on an estimated basis or based on actual taxes from the previous year, and all pro-rations are final and will not be adjusted by the Grantors after closing.

IN WITNESS THEREOF, the undersigned Grantor has executed this Warranty Deed on the 5th day of December, 2017.



Gregory C. Gibb

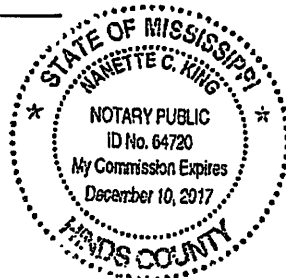
STATE OF MS
COUNTY OF Madison

Personally appeared before me, the undersigned authority in and for the said county and state, on this 5th day of December 2017, within my jurisdiction, the within named Gregory C. Gibb, who acknowledged to me that he executed, signed and delivered the above and foregoing instrument on the day and year therein mentioned.



NOTARY PUBLIC

My Commission Expires:
12/10/2017



IN WITNESS THEREOF, the undersigned Grantor has executed this Warranty Deed on the 5th day of December, 2017.

Lisa G. Gibb
Lisa G. Gibb

STATE OF MS
COUNTY OF Madison

Personally appeared before me, the undersigned authority in and for the said county and state, on this 5th day of December 2017, within my jurisdiction, the within named Lisa G. Gibb, who acknowledged to me that she executed, signed and delivered the above and foregoing instrument on the day and year therein mentioned.

Janette C. King
NOTARY PUBLIC

My Commission Expires:
12/10/2017



EXHIBIT A

COMPLETE LEGAL DESCRIPTION

Lot 34, THE TIMBERS OF ASHBROOKE, a subdivision according to the map or plat thereof which is on file and of record in the office of the Chancery Clerk of Madison County at Canton, Mississippi in Plat Cabinet D at Slide 196, reference to which is hereby made in aid of and as a part of this description.

PTAX0I - B
Tax Year 2018

County of Madison
TAX RECEIPT INQUIRY
4/24/2020

Copyright 1994
F M Software

<u>Receipt</u>	<u>Parcel Number</u>	<u>Tax Distr Num</u>	<u>Ex Code</u>	<u>Mills</u>
R 016604	081F-13 -234/00.00	224		100.6800
PTAX0I-24 PARCEL HAS UNREDEEMED TAX SALE - SEE CHANCERY CLERK				*SEVERE*
				DELINQUENT TAX DUE - CHANCERY CLERK

<u>Name</u>	<u>Description</u>	<u>Total Valuation</u>	<u>Value</u>	<u>Tax</u>
GIBB GREGORY C & LISA G			35188	3,542.73
		Exempt Credit	7500	300.00
----- All Exempt Credit.				
214 COTTONWOOD DR		Net Ad Valorem Tax		3,242.73
MADISON	MS 39110			

LOT 34 THE TIMBERS OF ASHBROOKE	Total Tax	3,242.73
	Total Paid (see below)	3,242.73
	Interest Due	.00
	Amount Due	*PRINTED*

<u>INSTALLMENTS</u>		<u>Taxes</u>
<u>Date</u>	<u>Interest</u>	<u>Batch</u>
1 1/23/18		121
2		
3		
		3,242.73

Enter=Next | F1=Search | F3=End | F7=End

PLEASE RESEAL AND PACK INDICATE NO TAMPERING OR COPYING

ADVANTAGE CLOSING & ESCROW, INC.
ESCROW ACCOUNT
100 WEBSTER CIRCLE, STE. 1
MADISON, MS 39110-7795

RENSANT BANK
1-800-600-1601
www.renasntbank.com

85-129/842

028565

—Three Thousand Two Hundred Forty Two and 73/100—

2017-1717

2017 Property Taxes

AMOUNT

\$ *****3,242.73

DATE

January 11, 2018

PAY TO THE ORDER OF:

Tax Collector Madison County

Roller

Matthew P. Smar
AUTHORIZED SIGNATURE

⑈028565⑈

468.
1,536.
537.
829.
86.
208.
481.
396.
205.
261.
58
71
35
242
235
1,061
113
30
2,317
8
27
89

PTAX0I - B
Tax Year 2019

County of Madison
TAX RECEIPT INQUIRY
4/24/2020

Copyright 1994
F M Software

<u>Receipt</u>	<u>Parcel Number</u>	<u>Tax Distr Num</u>	<u>Ex Code</u>	<u>Mills</u>
R 016668	081F-13 -234/00.00	224		100.6800
PTAX0I-24 PARCEL HAS UNREDEEMED TAX SALE - SEE CHANCERY CLERK				*SEVERE*
DELINQUENT TAX DUE - CHANCERY CLERK				

<u>Name</u>	<u>Description</u>	<u>Total Valuation</u>	<u>Value</u>	<u>Tax</u>
GIBB GREGORY C & LISA G			35814	3,605.75
		Exempt Credit	7500	300.00
----- All Exempt Credit.				
214 COTTONWOOD DR		Net Ad Valorem Tax		3,305.75
MADISON	MS 39110			

LOT 34 THE TIMBERS OF ASHBROOKE	Total Tax	3,305.75
	Total Paid (see below)	3,305.75
	Interest Due	.00
	Amount Due	*PRINTED*

INSTALLMENTS			<u>Taxes</u>
<u>Date</u>	<u>Interest</u>	<u>Batch</u>	
1 1/28/19		007	3,305.75
2			
3			

Enter=Next | F1=Search | F3=End | F7=End

RECEIPT #	PARCEL NUMBER	TAXPAYER NAME	NET DUE/ PAYER SUBMIT	PAYMENTS/ PAYER ACTUAL	RECEIPT TOT MESSAGE	ACTION
2019 R-015389	072D-19C-128/00.00	FORDE DANIEL & LAURA	1,752.61	.00	1,752.61	
2019 R-015442	092F-13C-014/00.00	FORTENBERRY ELOISE	677.85	.00	677.85	
2019 R-015468	072H-33D-047/00.00	FORTUNE MELODY L	886.22	.00	886.22	
2019 R-015477	072B-09A-370/00.00	FOSHEE CLAIRE	2,572.23	.00	2,572.23	
2019 R-015521	072I-30D-039/00.00	FOSTER TONY A	1,046.68	.00	1,046.68	
2019 R-015543	083D-19C-037/00.00	FOURNIER MARK T & NATALIE B	1,146.37	.00	1,146.37	
2019 R-015563	082I-30 -080/00.00	FOWLER GRAY M & BARBARA B	2,654.96	.00	2,654.96	
2019 R-015569	072E-16C-002/40.00	FOWLER MICHAEL J & MCKENNA G	3,244.03	.00	3,244.03	
2019 R-015574	071G-26D-001/43.00	FOWLER STEVEN W SR & KIM R -REV TR-	1,475.24	.00	1,475.24	
2019 R-015639	093D-18B-006/10.00	FRANCIS JANICE M	538.44	.00	538.44	
2019 R-015686	051C-08D-133/00.00	FRANKLIN WILLIAM & DEBORAH	780.56	.00	780.56	
2019 R-015701	072H-27C-049/00.00	FRASCO KAREN	4,028.07	.00	4,028.07	
2019 R-015738	093G-36 -008/05.00	FRAZIER RONALD G	2,307.85	.00	2,307.85	
2019 R-015745	083D-20 -098/00.00	FRECHETTE FERNAND B & MARIANNE T	2,531.10	.00	2,531.10	
2019 R-015759	072D-19A-014/49.00	FREEDMAN JACOB LYNN & SARAH TINA	734.06	.00	734.06	
2019 R-015768	081H-34 -275/00.00	FREEMAN CATHERINE C & WILLIAM	2,890.47	.00	2,890.47	
2019 R-015788	082G-26 -006/00.00	FREEMAN MARION JR & SONYA HUDSON	1,266.11	.00	1,266.11	
2019 R-015799	072B-09C-139/00.00	FREENY BETTYE J	2,768.93	.00	2,768.93	
2019 R-015807	072D-20C-001/01.40	FRELIX SHIRLEY K	1,042.91	.00	1,042.91	
2019 R-015813	083D-20 -115/00.00	FRENCH JUDY W & WAYNE H SR	929.18	.00	929.18	
2019 R-015831	072E-16A-030/00.00	FRIEL MICHAEL T & ALLISON D	8,789.97	.00	8,789.97	
2019 R-015849	081F-23 -281/00.00	FRITZ PAUL D & TANYA B	6,499.36	.00	6,499.36	
2019 R-015929	082D-20 -165/00.00	FUNCHES SAMUEL III & KESHA Y	1,476.10	.00	1,476.10	
2019 R-016036	081E-22 -237/00.00	GAGER KARL P JR & JENNIFER	4,307.83	.00	4,307.83	
2019 R-016046	072I-29C-108/00.00	GAINES ETHEL L	2,689.04	.00	2,689.04	
2019 R-016073	082D-20 -163/00.00	GAJANETHARAN SINNATHURAI & NITHIYA	2,895.25	.00	2,895.25	
2019 R-016091	072H-33D-136/00.00	GALLION PIERRDRO V & TANISHA A	1,991.94	.00	1,991.94	
2019 R-016170	083I-30 -042/00.00	GAMBOA JOSE L & SANDRA CARRILLO	2,105.52	.00	2,105.52	
2019 R-016180	083D-20 -179/00.00	GANDY KRISTY S & JOHN M	1,164.39	.00	1,164.39	
2019 R-016197	072B-10A-001/02.00	GARBO JOHN C & CANDON R	35.96	.00	35.96	
2019 R-016198	072B-10B-003/00.00	GARBO JOHN C & CANDON R	5,636.97	.00	5,636.97	
2019 R-016284	071F-23C-082/00.00	GARNER JAMES W & JOEY F	11,889.60	.00	11,889.60	
2019 R-016392	082D-20 -380/00.00	GARRISON ROBERT LOUIS	1,220.57	.00	1,220.57	
2019 R-016429	082F-24 -014/16.00	GATES CRYSTAL D	1,239.10	.00	1,239.10	
2019 R-016442	072D-20B-072/02.68	GATLIN JANEEN D	1,840.19	.00	1,840.19	
2019 R-016479	072C-05D-007/00.00	GAYLE TOYA FERGUSON	1,115.02	.00	1,115.02	
2019 R-016480	072C-05D-003/01.08	GAYLE VERNON O III	1,012.71	.00	1,012.71	
2019 R-016501	081E-22 -029/00.00	GEE T GUION & STACI H	3,796.61	.00	3,796.61	
2019 R-016528	081A-11 -164/00.00	GENO CHARLOTTE C & CRAIG M	1,531.89	.00	1,531.89	
2019 R-016529	081F-13 -002/13.00	GENO CRAIG M & MICHELLE A	2,787.04	.00	2,787.04	
2019 R-016544	082D-17 -485/00.00	GENTRY RUBEN & DOROTHY	1,634.24	.00	1,634.24	
2019 R-016567	072H-28D-002/01.05	GEORGE MARY CATHERINE	681.91	.00	681.91	
2019 R-016603	082D-17 -464/00.00	GERMANTOWN CONSTRUCTION LLC	407.75	.00	407.75	
2019 R-016668	081F-13 -234/00.00	GIBB GREGORY C & LISA G	3,305.75	.00	3,305.75	
2019 R-016687	072I-30D-040/07.00	GIBSON DARIAN G	2,157.36	.00	2,157.36	
2019 R-016689	082H-27 -156/00.00	GIBSON DEREK R & LAURA M	1,823.34	.00	1,823.34	
2019 R-016693	061I-29C-006/02.01	GIBSON GEORGIA -ESTATE-	870.82	.00	870.82	
2019 R-016701	082D-19 -350/00.00	GIBSON LARRY & BETTY	1,645.54	.00	1,645.54	
2019 R-016703	092F-24A-166/00.00	GIBSON LILLIE M *ESTATE*	1,347.89	.00	1,347.89	
2019 R-016719	072I-29D-094/00.00	GIBSON TIESHA S &	2,260.49	.00	2,260.49	
2019 R-016724	081H-34 -334/00.00	GIBSON-SMITH RUBY J	2,403.26	.00	2,403.26	
2019 R-016774	082D-19 -004/05.00	GILBERT DANIEL O	944.20	.00	944.20	
2019 R-016840	071H-27 -084/00.00	GILL GURVINDER S & JASPREET	3,822.14	.00	3,822.14	

TARR101 REQUEST FOR REVIEW REAL PROP. MODE Display
 PPIN: 045092 REQ DATE: 2018 / 09 / 05 TX YR: 2018
 OWNER OF RECORD REQUESTOR
 GIBB GREGORY C & LISA G GIBB GREGORY C & LISA G
 214 COTTONWOOD DR 214 COTTONWOOD DR
 MADISON MS39110 MADISON MS 39110 0000
 PH (H). (W).

REASON FOR REQUEST CODE: (STC: 11) f2 to view codes
 REASON FOR REQUEST PROPERTY SOLD AND DEED WAS NOT RECORDED IN TIME FOR
 PROPERTY TO BE ELIGIBLE FOR CLASS I

Initiated by: T (O)wner, (I)nspection, Other (R)quest, O(T)her. EMILY
 SB82 Required? Y/N
 Route to: H (M)apping, (A)ppraisal, (H)omestead, (B)OS via Taxpayer
 Attachmnt Appraisl, Scrn Prt, 10%form, Ag Ap, Oth X
 Vals | Cls | Land | Imps | Total | Assd | Reqstd Value:
 on | I. | 45,000 | 313,140 | 358,140 | 0 | 0
 Rqst | II. | 0 | 0 | 0 | 0 | Qual cls I? Y
 Date | Tot. | 45,000 | 313,140 | 358,140 | 0 | Hs. type REGULAR
 Dist 2 M

F-1 Abort, F-4 Duplicate previous reason

2018
HOMESTEAD EXEMPTIONS
DELETIONS

TO BOARD
02/04/19

EXHIBIT "H"



NORMAN A. CANNADY, JR.
TAX ASSESSOR
MADISON COUNTY

CANTON OFFICE
P.O. BOX 292
CANTON, MS 39046-0292
CANTON: (601) 859-1921
FAX: (601) 859-2899
IN STATE: 1-800-428-0584 Ext 1921
JOHN FOX, CHIEF DEPUTY

MADISON ANNEX
171 COBBLESTONE DR.
MADISON, MS 39110-9197
MADISON: (601) 856-1796
FAX: (601) 856-1855
WWW.MADISON-CO.COM
DIANE ODOM, CHIEF DEPUTY

January 28, 2019

Madison County Board of Supervisors ✓
PO Box 608
Canton MS 39046

Ref: Homestead Exemptions -2018- Deletions

To whom it may concern:

Attached you will find the following amended homestead applications:

Deletions

Gibb Gregory	-property sold Dec 2017-	081F-13 -234
Guyton Douglas	-owners moved out of state-	071F-23C-040

Board approval is required.

Under the Federal Privacy Act – any & all records containing social security number – are not part of public records.

Upon approval send copies to Kay Pace, Tax Collector.

After board approval must be entered in HC-Edit for 2018 HS Supp Roll.
Processing with the HC-Edit system will be done after board approval; please send confirmation of approval.

Sincerely,

Emily Anderson
Homestead Director

pc: Kay Pace, Tax Collector
2018 Amended apps Feb 19 - discovery packet

**2018
REAL PROPERTY
INCREASES
(SIGNED)**

**TO BOARD
02/04/19**

EXHIBIT "B"

		LANDROLL CHANGES	NORMAN A. CANNADY, JR TAX ASSESSOR	MADISON COUNTY			2018 ROLL					
					REAL PROPERTY							
PAGE	LINE	OWNERS NAME	PARCEL NUMBER	ASSESSMENT AS ON ROLL			PAGE 1	LAST UPDATE 01/28/2019				
				IMPROVEMENTS	LAND	TOTAL	AMOUNT	REASON		CODE	RQST NO.	TAX DIST
GROUP	2018	FEBRUARY - INCREASE SIGNED					OF	FOR				
							CHANGE	CHANGE				
PAGE 1	1	GUYTON DOUGLAS C	071F-23C-040/00.00	35637	8800	44437	22219	OWNER MOVED OUT OF STATE		11	10253-18	3RM
PAGE 1	2	GIBB GREGORY C	081F-13-234/00.00	31314	4500	35814	17907	PROPERTY SOLD 12/2017		11	10201-18	2M
PAGE 1	3											
PAGE 1	4											
PAGE 1	5											
PAGE 1	6											
PAGE 1	7											
PAGE 1	8											
PAGE 1	9											
PAGE 1	10											
TOTAL							\$ 40,126	TO BOS - FEBRUARY 04, 2019				

NOTICE TO INCREASE THE ASSESSMENT OF REAL/PERSONAL PROPERTY

STATE OF MISSISSIPPI

COUNTY MADISON

Assessed to: GIBB GREGORY C & LISA G

In _____ Road District _____ District _____ Municipality

To the Board of Supervisors of MADISON County, Mississippi:
Now comes Norman A. Cannady, Jr. and gives notice as required by Section 27-35-147,

(Assessor or Other Officer)
Code of 1972, that the assessment of the property herein described should be increased; the said property being assessed on the Real Property 2018 Assessment ROLL of said County,
(Real/Personal)

The undersigned recommends that the assessment of the said property should be INCREASED as shown below:

Page	Line	Parcel Number	Land Value	Improvements	Total Value	Total Increase
		081F-13-234/00.00	4500	31314	35814	17907

Reason for Increase: UPON DISCOVERY OWNER/APPLICANT SOLD PROPERTY ON 12/5/2017-DEED RECORDED LATE-ON 1/17/2018-DELTE HS/CLASS 2

Witness my signature this the 21ST day of JANUARY 2019
Norman A. Cannady, Jr.
(Signature of Officer) NORMAN A. CANNADY, JR. TAX ASSESSOR
(Title of Officer)

Acceptance by Taxpayer: [Signature] Date: 1.2.2018

And it affirmatively appears to the board:

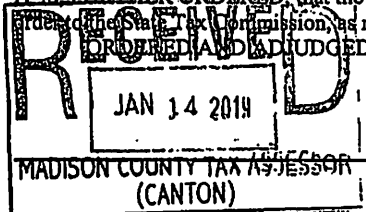
1. That the Clerk of this Board has given the required notice to said owner to the last known address, by mail, more than ten days before this meeting, as directed by the Order of this Board; and who appeared and presented objections (or failed to appear);
2. That the said owner has, in writing, agreed to the increase, waived notice, entered appearance before this Board and requested that the assessment be made final;

And the Board having heard the evidence, and carefully considered the same, and being satisfied that the said assessment should be increased, as herein set forth;

IT IS, THEREFORE, ORDERED AND ADJUDGED by this Board that an increase in the said original assessment be and is hereby made and finally approved as follows:

The amount at Page _____, Line _____, be increased from \$ 35814 to \$ 53721

IT IS FURTHER ORDERED, that the Clerk of this Board is hereby directed and commanded to certify two copies of this order of the State Tax Commission, as required by Section 27-35-149, Code of 1972.
ORDERED AND ADJUDGED this the _____ day of _____, 2019



President of the Board

CLERK'S CERTIFICATE

I, Ronny Lott, Clerk of the Board of Supervisors of MADISON County, State of Mississippi, do hereby certify that the foregoing is a true and correct transcript of an order of said Board of Supervisors, passed on the _____ day of _____, 2019 as the same appears on Page _____ of Minute Book _____ of said Board, now on file in the office of said Clerk in the _____ of _____ in said County.

Witness my hand and official seal, this _____ day of _____, 2019

By _____, D.C.
Clerk of the Board of Supervisors of said County

PTAX0I - B
Tax Year 2019

County of Madison
TAX RECEIPT INQUIRY
4/24/2020

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F M Software

<u>Receipt</u>	<u>Parcel Number</u>	<u>Tax Distr Num</u>	<u>Ex Code</u>	<u>Mills</u>
R 916668	081F-13 -234/00.00	224		100.6800
PTAX0I-24 PARCEL HAS UNREDEEMED TAX SALE - SEE CHANCERY CLERK				*SEVERE*
				DELINQUENT TAX DUE - CHANCERY CLERK

<u>Name</u>	<u>Description</u>	<u>Total Valuation</u>	<u>Value</u>	<u>Tax</u>
GIBB GREGORY C & LISA G			17907	1,802.88
		Exempt Credit	7500-	300.00-
		All Exempt Credit		
		Net Ad Valorem Tax		2,102.88

 2720 BERTRAM CT
 MURFREESBORO TN 37129-3792

LOT 34 THE TIMBERS OF ASHBROOKE	Total Tax	2,102.88
	Total Paid (see below)	2,190.00
	Interest Due	.00
	Amount Due	*PRINTED*

INSTALLMENTS			<u>Taxes</u>
<u>Date</u>	<u>Interest</u>	<u>Batch</u>	
1 8/26/19	84.12	SAL	2,102.88
2			
3			

Enter=Next | F1=Search | F3=End | F7=End

Indexing Information

Instrument Number: 874485

Type: S

Book: 20191

Page: 172

Sub-Page: 4

Nature: TAX SALE

Time: 9:00 AM

Date: 8/26/2019

Related Document(s):

Grantor GIBB GREGORY C & LISA G
.PARCEL# 081F-13 -234/00.00
.RECEIPT# 916668

Grantee TTLBL, LLC
.4747 Executive Drive
.San Diego CA 92121

Legal Description (Subdivision)

Code Lot Name

08242 34 TIMBERS OF ASHBROOKE THE

No Image Record Found

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HELPFUL NUMBERS

Board of Supervisors 601-790-2590